



**Jamaican
Building Codes
Every Owner
Should Know.**



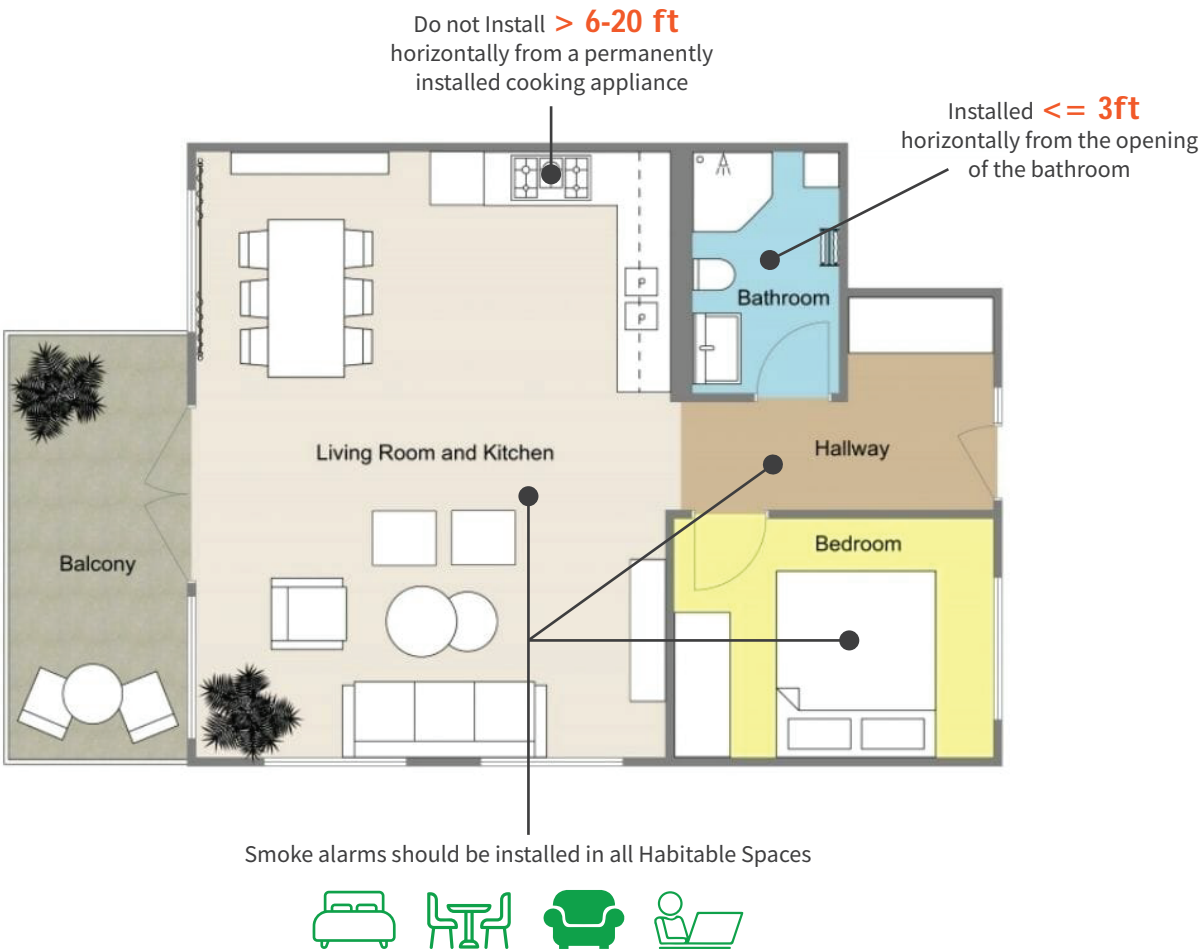
BUILDING CODE R314

The Jamaica National Building Code **R314** outlines the fire prevention and detection devices to be installed in dwelling units.

All new constructions (R314.2.1) and dwellings where alterations, repairs and additions (R314.2.2) are being done must be equipped with smoke alarms!

01

ALARM INSTALLATION STANDARDS



02

THE NATIONAL CODES

R314.2.1 - NEW CONSTRUCTION. Smoke alarms shall be provided in *dwelling units*.

R314.2.2 - ALTERATIONS, REPAIRS AND ADDITIONS. Where *alterations, repairs or additions* requiring a permit occur, the individual *dwelling unit** shall be equipped with smoke alarms located as required for new dwellings.

**Exceptions:**

- Work involving the exterior surfaces of dwelling, such as the replacement of roofing or siding, the addition or replacement of windows or doors, or the addition of a porch or deck.
- Installation, alteration or repairs of plumbing or mechanical systems.

R314.3 - LOCATION. Smoke alarms shall be installed in the following locations:

1. In each sleeping room.
2. Outside each separate sleeping area in the immediate vicinity of the bedrooms.
3. On each additional story of the dwelling, including basements and habitable attics* and not including crawl spaces and uninhabitable attics. In dwellings or dwelling units with split levels and without an intervening door between the adjacent levels, a smoke alarm installed on the upper level shall suffice for the adjacent lower level provided that the lower level is less than one full story below the upper level.
4. Smoke alarms shall be installed not less than 915 mm (3 feet) horizontally from the door or opening of a bathroom that contains a bathtub or shower unless this would prevent placement of a smoke alarm required by this section.

R314.3.1 - INSTALLATION NEAR COOKING APPLIANCES. Smoke alarms shall not be installed in the following locations unless this would prevent placement of a smoke alarm in a location required by Section R314.3

1. Ionization smoke alarms* shall not be installed less than 6,100 mm (20 feet) horizontally from a permanently installed cooking appliance.
2. Ionization smoke alarms with an alarm-silencing switch shall not be installed less than 3,050 mm (10 feet) horizontally from a permanently installed cooking appliance.
3. Photoelectric smoke alarms* shall not be installed less than 1,830 mm (6 feet) horizontally from a permanently installed cooking appliance.

R314.4 - INTERCONNECTION. Where more than one smoke alarm is required to be installed within an individual dwelling unit in accordance with Section R314.3, the alarm devices shall be interconnected in such manner that the actuation of one alarm will activate all of the alarms in the individual dwelling unit. Physical interconnection of smoke alarms shall not be required where listed wireless alarms are installed and all alarms sound upon activation of one alarm.

R314.5 - COMBINATION ALARMS. Combination smoke and carbon monoxide alarms shall be permitted to be used in lieu of smoke alarms.

R314.6 - POWER SOURCE. Smoke alarms shall receive their primary power from the building wiring where such wiring is served from a commercial source and, where primary power is interrupted, shall receive power from a battery. Wiring shall be permanent and without a disconnecting switch other than those required for overcurrent protection.



Exceptions:

- Smoke alarms shall be permitted to be battery operated where installed in buildings without commercial power.
- Smoke alarms installed in accordance with Section R314.22 shall be permitted to be battery powered.

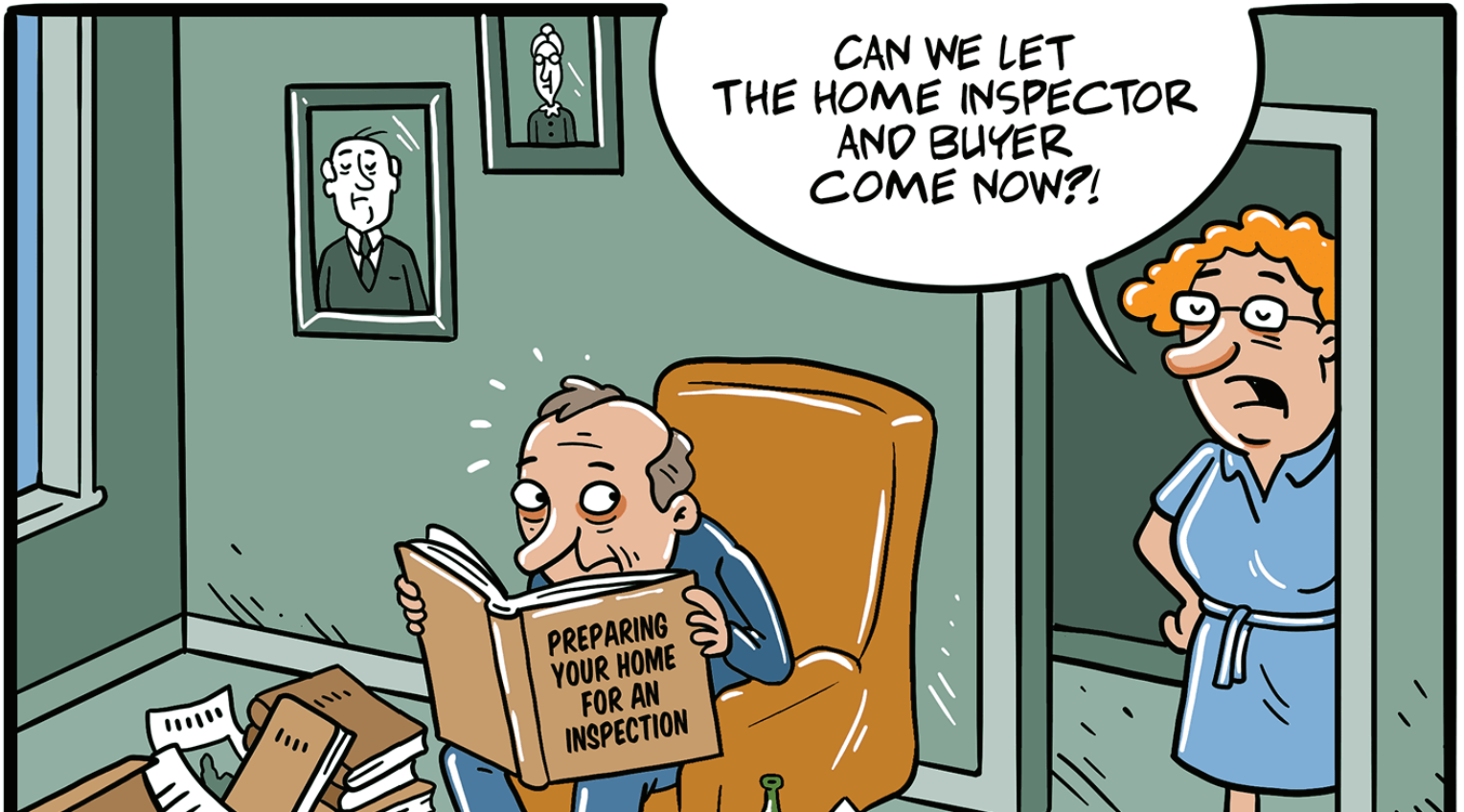
DEFINITION OF TERMS USED (*)

1. ***Dwelling Unit*** - Dwelling units refer to self-contained, independent residential spaces within a building or structure designed for habitation by individuals or families. These units are typically equipped with essential living facilities, including sleeping areas, living rooms, bathrooms, and kitchens, allowing occupants to live independently and perform daily activities comfortably.
2. ***Habitable Attic*** - Refers to a functional and converted space within the uppermost part of a building, typically beneath the roof, that has been renovated or designed for occupancy.
3. ***Ionization Smoke Alarms*** - A type of smoke detector that uses a small amount of radioactive material (usually Americium-241) to ionize the air within a sensing chamber. When smoke particles enter this chamber, they disrupt the ionization process, causing a change in the electrical current flow, which triggers the alarm.
4. ***Photoelectric Smoke Alarms*** - A type of smoke detector that uses a light source and a sensor to detect smoke particles in the air. Unlike ionization smoke alarms that rely on ionizing air molecules to detect smoke, photoelectric smoke alarms operate based on light detection principles.

For more in depth information on JSRBC Section 314 visit

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1

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3

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4



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LISTEN, JACK - I WAS TRYING TO READ THE REPORT, AND HONESTLY - THE LANGUAGE IS SO TECHNICAL - I HAVE NO IDEA WHAT YOU WROTE THERE. COULD YOU TURN THE REPORT INTO A VIDEO CLIP, ADD SOME BACKGROUND MUSIC AND SUBTITLES, AND SEND IT OVER THIS EVENING TO MY MAIL?

