












**Jamaican
Building Codes
Every Owner
Should Know.**

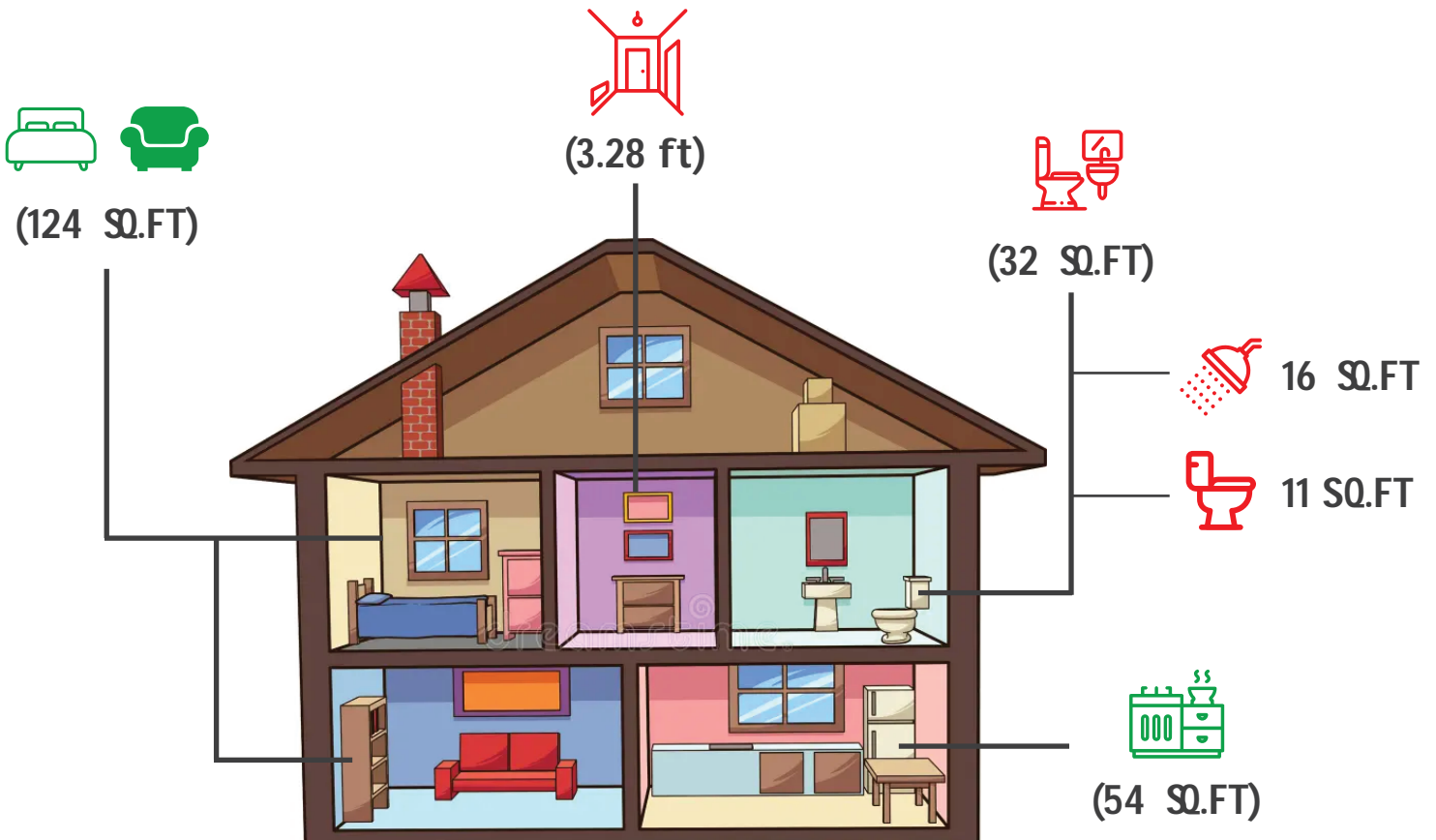
BUILDING CODE R304-305

The Jamaica National Building Code **R304-305** outlines the minimum room areas and dimensions that the different habitable & non-habitable spaces in your small building must adhere to.

HABITABLE ROOMS	NON-HABITABLE ROOMS
 BEDROOM	 BATHROOM
 DINING ROOM	 STAIRCASE
 LIVING ROOM	 SHOWER
 KITCHEN	 CORRIDOR
 HOME OFFICE	

01

THE MINIMUM STANDARDS



02

THE NATIONAL CODES

R304.1 - MINIMUM AREA. Habitable rooms shall have a floor area of not less than 7 m² (75 ft²). Every dwelling unit shall have at least one habitable room (living or sleeping room), with a minimum floor area of 11.5 m² (124 ft²) of gross floor area.



Exception: Kitchens shall have gross floor areas not less than 5 m² (54 ft²).

- **Bathroom** - not less than 3 m² (32 ft²) for the first and not less than 2 m² (22 ft²) for the second or more than two bathrooms;
- **Shower** - not less than 1.5 m² (16 ft²);

- **Toilet or Water Closet** - not less than 1 m² (11 ft²)
- **Water Closet for handicapped persons** - not less than 3 m² (32 ft²)

R304.2 - MINIMUM DIMENSIONS. Habitable rooms shall not be less than 2,500 mm (8 feet) in any horizontal dimension. The minimum dimensions for habitable rooms shall be as follows:

- a. **Bathroom:** 1.4 m (4.6 ft.) wide;
- b. **Shower:** 0.9 m (3 ft.) wide;
- c. **Toilet (WC):** 0.75 m (2.5 ft.) wide and 1.25 m (4 ft.) long;
- d. **Corridor:** 1.0 m (3.28 ft.) wide; and
- e. **Stairs:** 1.0 m (3.28 ft.) wide.



Exception: Kitchens may have minimum horizontal dimensions as low as 1.8 m in any direction.

R304.3 - HEIGHT EFFECT ON ROOM AREA. Portions of a room with a sloping ceiling measuring less than 1,525 mm (5 feet) or a furred ceiling* measuring less than 2,150 mm (7 feet) from the finished floor to finished ceiling shall not be considered as contributing to the minimum required habitable area for that room.

R305.1 - MINIMUM CEILING HEIGHT. The minimum ceiling height of *habitable space**, hallways and portions of basements containing these spaces which do not have sloping ceiling shall be as follows:

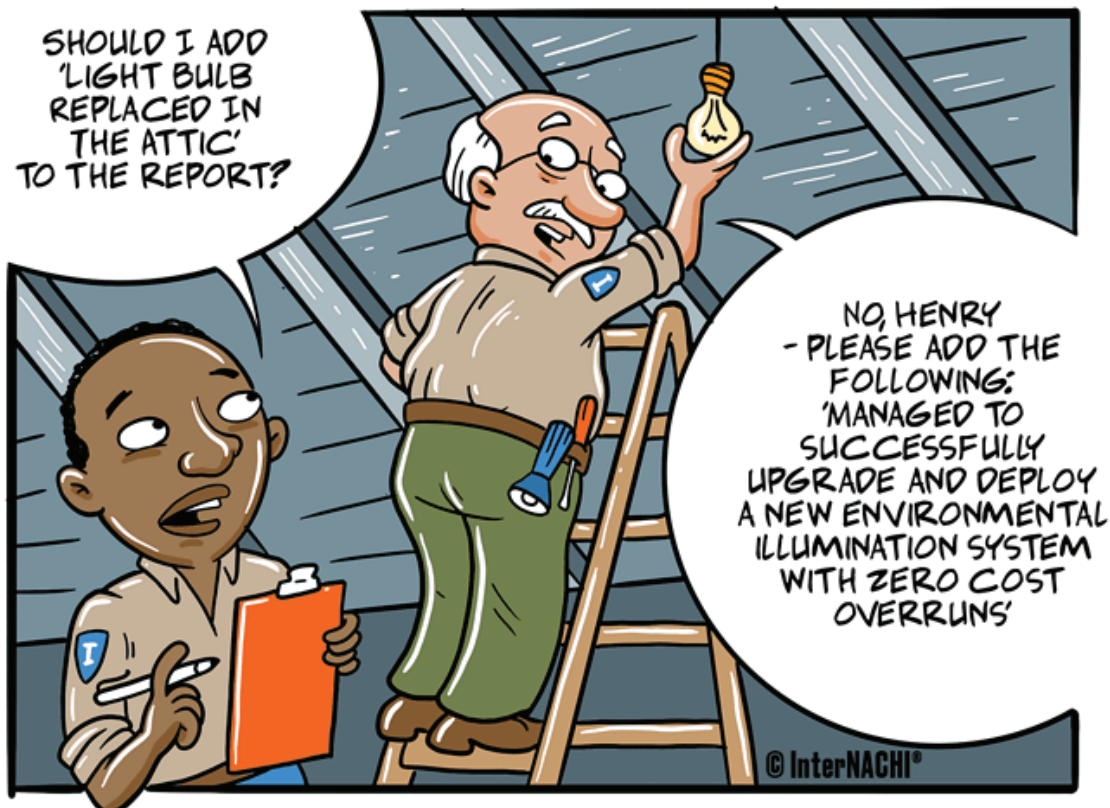
- a. 2,750 mm (9 feet) where natural ventilation is to be relied on and;
- b. 2,450 mm (8 feet) where mechanical ventilation* is provided.

Bathrooms, toilet rooms and laundry rooms shall have a ceiling height of not less than 2,300 mm (7 feet 6 inches).

**Exceptions:**

For rooms with sloped ceilings, the required floor area of the room shall have a ceiling height of not less than 2,150 mm (7 feet) measured vertically from finished floor level to the point of lowest acceptable ceiling height. Not less than 80 percent of the required floor area shall have this ceiling height of 2,150 mm (7 feet).

The ceiling height above bathroom and toilet room fixtures shall be such that the fixture is capable of being used for its intended purpose. A shower or tub equipped with a showerhead shall have a ceiling height of not less than 2,050 mm (6 feet 8 inches) above an area of not less than 760 mm (30 inches) by 760 mm (30 inches) at the showerhead.



DEFINITION OF TERMS USED (*)

1. **Habitable Spaces** - Habitable rooms are functional living spaces within a building intended for occupancy by people. These rooms are designed and equipped to support everyday activities such as living, sleeping, eating, or working. Common examples of habitable rooms include bedrooms, living rooms, kitchens, dining rooms, and home offices.
2. **Non-habitable rooms** - Refer to spaces within a building that are not intended for regular human occupancy or activities such as living, sleeping, or cooking. These areas serve other purposes and are often designed for specific functions such as storage, utility, circulation, or mechanical systems.
3. **Furred Ceilings** - A furred ceiling is a type of ceiling that involves the addition of an extra layer or surface below the original ceiling. This additional layer, known as furring, is typically installed for various purposes such as improving insulation, concealing imperfections, providing a space for utilities (such as wiring or plumbing), or creating a decorative effect.
4. **Mechanical Ventilation** - Refers to the process of using mechanical systems, such as fans or air handling units, to exchange and circulate air within a building or confined space.

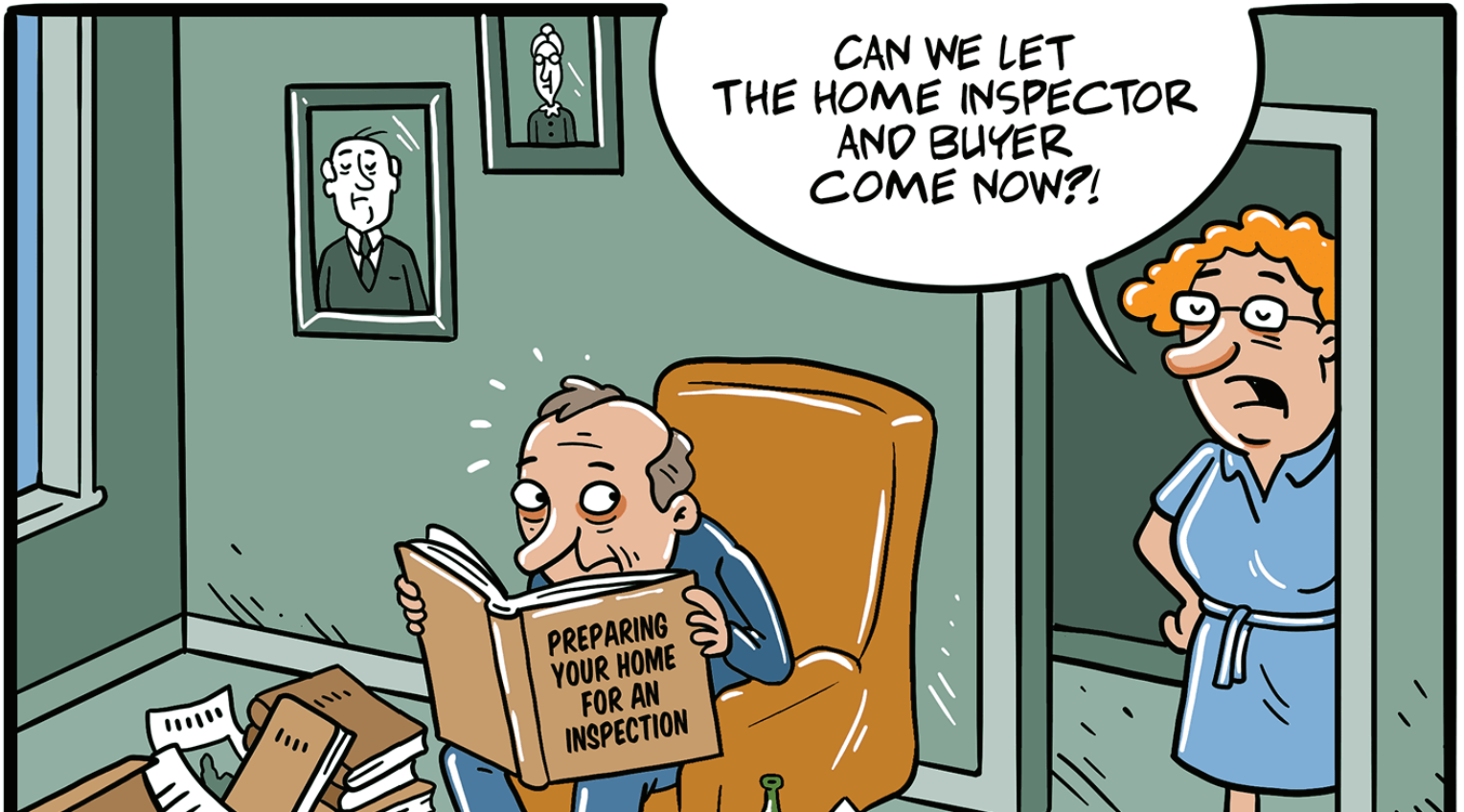
For more in depth information on JSRBC Section 304-305 visit

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05

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LISTEN, JACK - I WAS TRYING TO READ THE REPORT, AND HONESTLY - THE LANGUAGE IS SO TECHNICAL - I HAVE NO IDEA WHAT YOU WROTE THERE. COULD YOU TURN THE REPORT INTO A VIDEO CLIP, ADD SOME BACKGROUND MUSIC AND SUBTITLES, AND SEND IT OVER THIS EVENING TO MY MAIL?

