

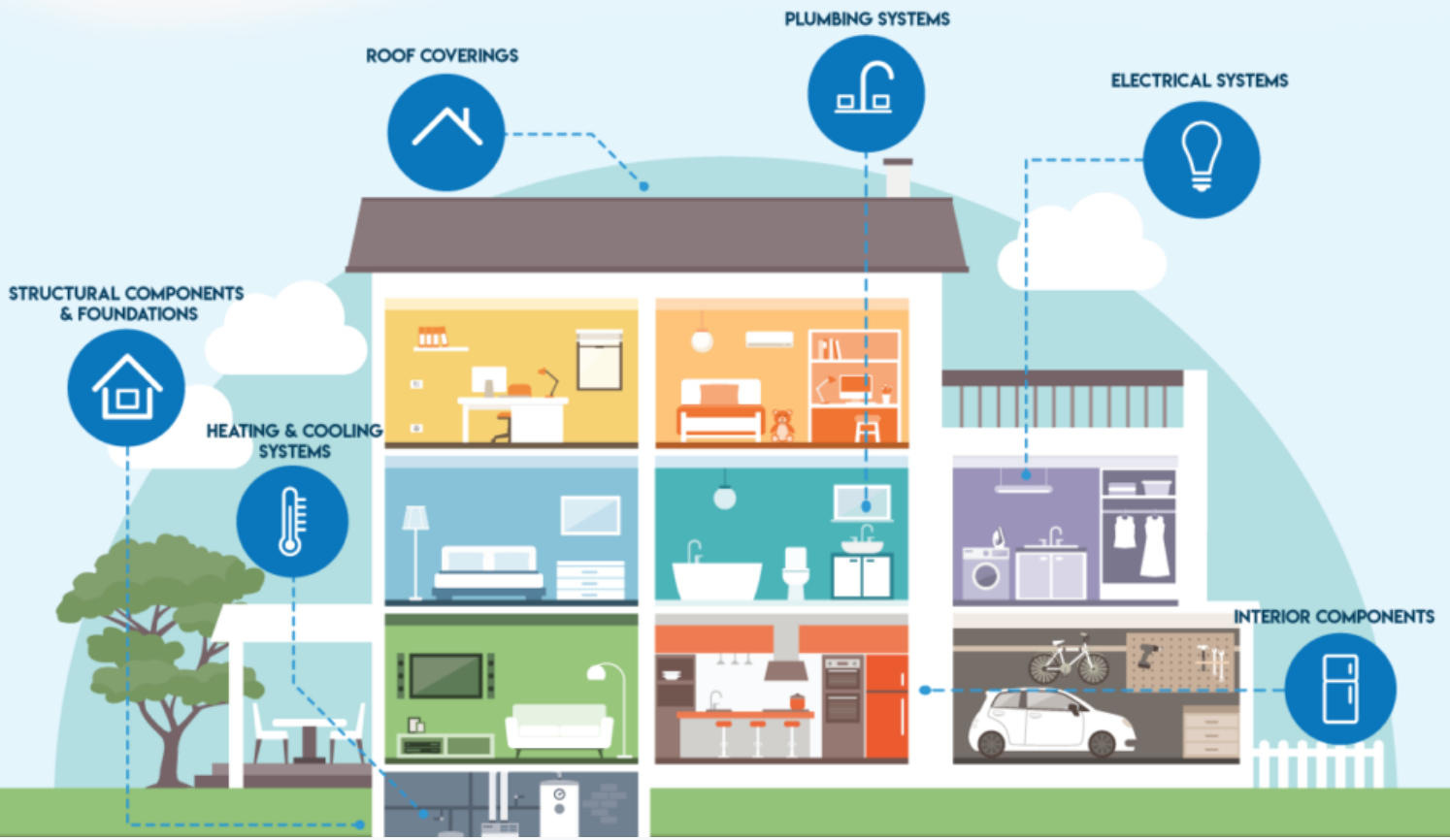
MAREINO HOME®

Inspection Resource Guide



MareinoHome™

STANDARDS OF PRACTICE





EXTERIOR STANDARDS

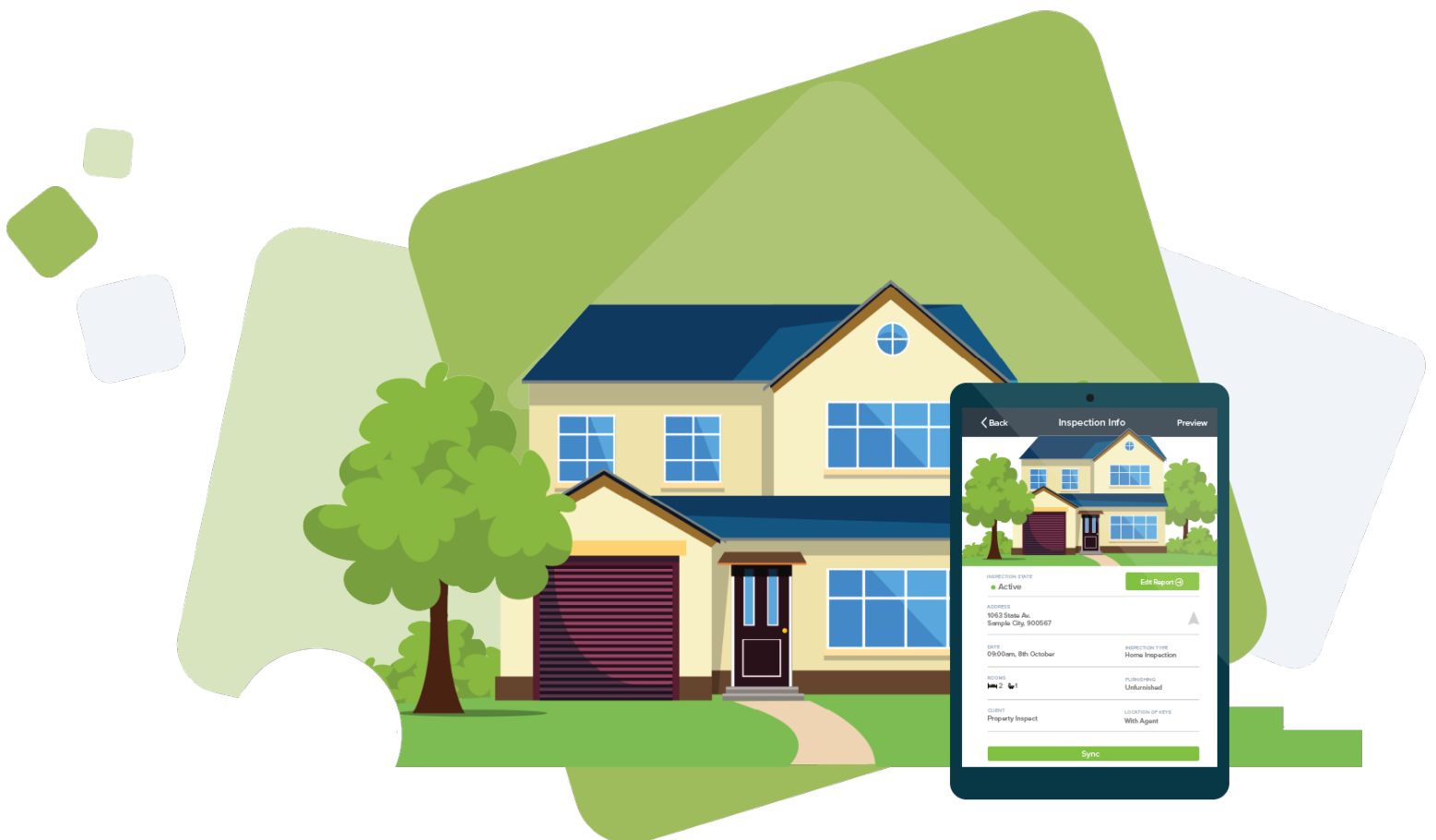


When we inspect the exterior of your property, we do not intend to address or include any geological conditions or site stability information. Any reference to grade is limited to only areas around the exterior of the exposed foundation or exterior walls. Our exterior inspection is visual in nature and does not attempt to determine drainage performance of the site or the condition of any underground piping, including Municipal water and sewer service piping or septic systems.

Our inspection of the Exterior grounds includes the surface drainage, grading, some fencing, gates, sidewalks, patios, driveways, and retaining walls adjacent to the structure. The inspection of the exterior of the building includes the cladding, trim, eaves, fascias, decks, porches, downspouts, railings, doors, windows and flashings.

Minor cracks are typical in many foundations and most do not represent a structural problem. If major cracks are present, we routinely recommend further evaluation by a qualified professional. All exterior grades should allow for surface and roof water to flow away from the foundation. All concrete slabs experience some degree of cracking due to shrinkage in the drying process or minor settlement.

All items listed are inspected for their proper function, poor installation, excessive wear and general state of repair.





Our inspection of a roof system includes a visual examination of the surface materials, connections, penetrations and roof drainage systems. We examine the roofing material for damage and deterioration. We examine the roof system for possible leaks, damage and conditions that suggest limited remaining service life. We may offer opinions concerning repair and/or replacement if warranted.

Opinions stated herein concerning the roofing material are based on the general condition of the roof system as evidenced by our visual inspection. These do not constitute a warranty that the roof is or will remain free of leaks. All roofing systems require annual maintenance. Failure to perform routine maintenance will usually result in leaks and accelerated deterioration of the roof covering.

The only way to determine whether a roof is absolutely water tight is to observe it during a prolonged rainfall. Many times, this situation is not present during the inspection and we cannot confirm this condition. We suggest that an annual inspection of the roof be performed to identify if any leaks are evident.



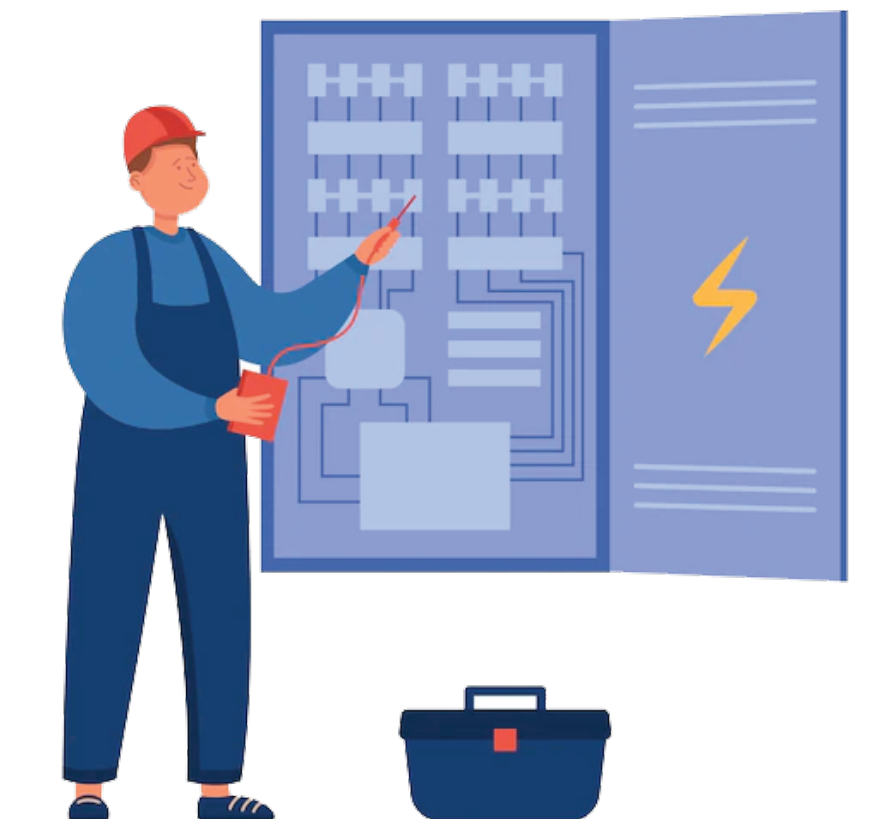


Our examination of the electrical system includes a visual examination of the exposed and accessible branch circuits, wiring, service panel, over current protection devices, lighting fixtures, switches, and receptacles. Service equipment, proper grounding, wiring methods and bonding are focal points. We inspect for adverse conditions such as improper installation of aluminum wiring, lack of grounding and bonding, over-fusing, exposed wiring, open-air wire splices, reverse polarity and defective GFCI's.

The hidden nature of the electrical wiring prevents inspection of every length of wire or their connections. Telephone, video, cable, audio, security systems and other low voltage systems are not included.

Any electrical repairs attempted by anyone other than a licensed electrician should be approached with caution. The power to the entire house should be turned off prior to beginning any repair efforts, no matter how trivial the repair may seem. Aluminum wiring requires periodic inspection and maintenance by a licensed electrician.

Inoperative light fixtures often lack bulbs or have dead bulbs installed. Light bulbs are not changed during the inspection. Smoke Alarms should be installed within 10 feet horizontally from a permanently installed cooking device and in all habitable rooms and 3ft from opening of Bathroom. These units should be tested monthly.





PLUMBING STANDARDS



Our Inspection of the plumbing system includes a visual examination of the exposed portions of the domestic water supply, drain waste, vent, gas lines, faucets, fixtures, valves, drains, traps, exposed pipes and fittings.

These items are examined for proper function, excessive or unusual wear, leakage and general state of repair. The hidden nature of piping prevents inspection of every pipe and joint connection, especially in walls, floors and ceiling.

Our review of the plumbing system does not include landscape irrigation systems, water wells, on site and/or private water supply systems, off site community water supply systems, or private (septic) waste disposal systems unless specifically noted. Review of these systems could be performed by qualified specialists prior to closing.





BATHROOM STANDARDS



Our inspection of the bathrooms included a visual examination of the readily accessible portions of the floors, walls, ceilings, cabinets, counter tops and plumbing fixtures. Bathrooms are inspected for water drainage, damage, deterioration to floor and walls, proper function of components, active leakage, unusual wear and general state of repair.

Bathroom fixtures are run simultaneously to check for adequate water flow and pressure. Fixtures are tested using normal operating controls. Vent fans and their duct work are tested for their proper operation and examined where visible.

Shower heads are visually checked for leakage, but leaks often do not show except when the shower is in actual use. Determining whether shower heads, tub/shower surrounds are water tight is beyond the scope of this inspection. It is very important to maintain all grouting and caulking in the bath areas. Very minor imperfections can allow water to get into the wall or floor areas and cause damage.





KITCHEN STANDARDS



Inspection of stand alone refrigerators, freezers and other built-in machines are outside the scope of our inspection. No opinion is offered as to the adequacy of dishwasher operation. Ovens, self or continuous cleaning operations, cooking functions, clocks, timing devices, lights and thermostat accuracy are not tested during our inspection.

Appliances are not moved during the inspection to inspect below or behind them. This means that any electrical outlet behind any of these items might not be tested if they are only reachable by moving the appliance.





INTERIOR STANDARDS



Our inspection of the Interior includes a visual inspection of the readily accessible portions of the walls, ceilings, floors, doors, cabinetry, countertops, steps, stairways, balconies and railings. Please note that a representative sample of the accessible windows and electrical receptacles are inspected in ve large buildings.

These features are examined for proper function, excessive wear and general state of repair. In some cases, all or portions of these components may not be visible because of furnishings and personal items. In these cases some of the items may not be inspected. As a general rule, cosmetic deficiencies are considered normal wear and tear and are not reported. Determining the source of odors or like conditions is not a part of this inspection.

Floor covering damage or stains may be hidden by furniture. The condition of floors underlying floor coverings is not inspected.





\$50,000.00

GENERAL HOME™

1

Starts at J\$50,000.00 for a typical 2-bedroom, bathroom & kitchen structure and includes a general inspection of your home's most important components. General Home does not include inspection of appliances or other non-structural components such as decor, TVs, etc.,

\$100,000.00

NEW CONSTRUCTION

2

Starts at J\$100,000.00 per unit and constitutes a deep inspection of the entire property. Inspection is done in 2-phases: First inspection during construction and Second inspection after unit is completed.

\$85,000.00

HOME VIEW 360™

3

Starts at J\$85,000.00 and includes a general home inspection plus an interactive 360 video tour of the property being inspected.

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ACCESS+™

4

We assess your facility and provide a detailed report on steps you can take to ensure that your property is fully accessible and meets the National Building Code Accessibility Guidelines.



For More Information

www.**MAREINO**.com

876.385.9985

LISTEN, JACK - I WAS TRYING TO READ THE REPORT, AND HONESTLY - THE LANGUAGE IS SO TECHNICAL - I HAVE NO IDEA WHAT YOU WROTE THERE. COULD YOU TURN THE REPORT INTO A VIDEO CLIP, ADD SOME BACKGROUND MUSIC AND SUBTITLES, AND SEND IT OVER THIS EVENING TO MY MAIL?

