

MAREINO HOME®

Inspection Resource Guide

HOME INSPECTION CHECKLIST



THANK YOU FOR CHOOSING MAREINO HOME®.

Thank you for choosing Mareino Home to guide you as you take this big step towards homeownership. We hope you will find our Inspection Resource Guide very useful. Your home inspection is just the start of our relationship and we look forward to serving you today and in the future.



WHAT TO EXPECT WHEN WE'RE INSPECTING



INSPECTION TIMELINE



COMMON HOME ISSUES



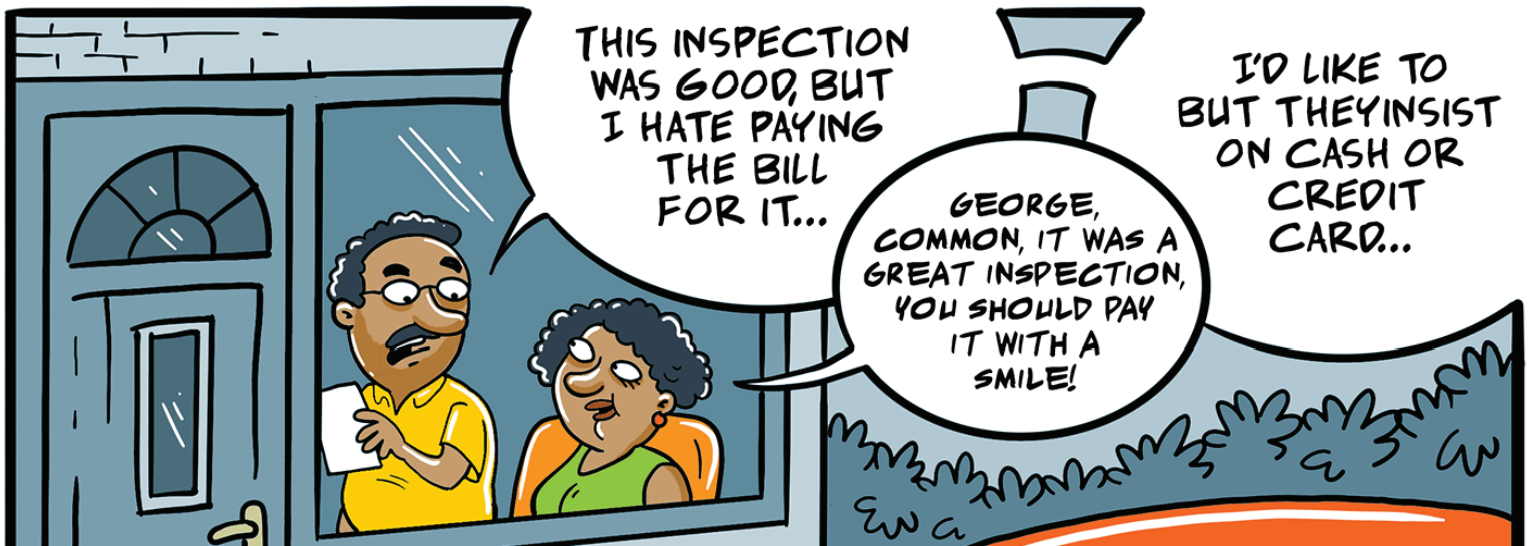
MAREINO HOME® SERVICES

*Mareino Home is a residential inspection service offered by Mareino Developers Jamaica. This home inspection guide by Mareino Developers is for informational purposes. Content may change without notice. Relying on this guide is at the user's discretion.



01

WHAT TO EXPECT WHEN WE'RE INSPECTING.



Your Mareino Home inspector will inspect all the major accessible elements in your home according to industry and local standards. Each inspected element will be rated as defined below and will be accompanied by specific details and digital images of conditions found. Your inspection will not include engineering, geological, biological, health-related, or code compliance evaluations (except where that service is included in the requested inspection). Other limitations may apply.

S

SATISFACTORY

Element was functional at the time of inspection.

F

FAIR

Element was functional at time of inspection but has a probability of requiring repair.

P

POOR

Element requires immediate repair, replacement, or other remedial work

NA

NOT APPLICABLE – All or individual listed elements were not present, were not observed, were outside the scope of the inspection, and/or were not inspected due to other factors, stated or otherwise.

NI

NOT INSPECTED – Element was disconnected or de-energized, was not readily visible or accessible, presented unusual or unsafe conditions for inspection, was outside the scope of the inspection, and/or was not inspected due to other factors, stated or otherwise.

WHAT TO EXPECT WHEN WE'RE INSPECTING cont'd

We inspect the following (list not exhaustive):



ROOF - We look for visible roof covering materials, gutters and drainage etc., We assess the condition for proper function; looking for evidence of leakage or damage.



ELECTRICAL - We look for visible wiring in good condition, secured and protected with no exposed splices. Adequate capacity of service panel, all wiring attached to panel with proper connections, fuses or breakers are not overheating, lights and switches operate properly, an adequate number of electrical outlets in each room that test properly when spot checked.



INTERIOR ELEMENTS - We look at visible areas of all walls, ceilings, stairways, representative windows and doors for signs of leakage and damage, sagging or other structural concerns. Windows will be operated to determine function.



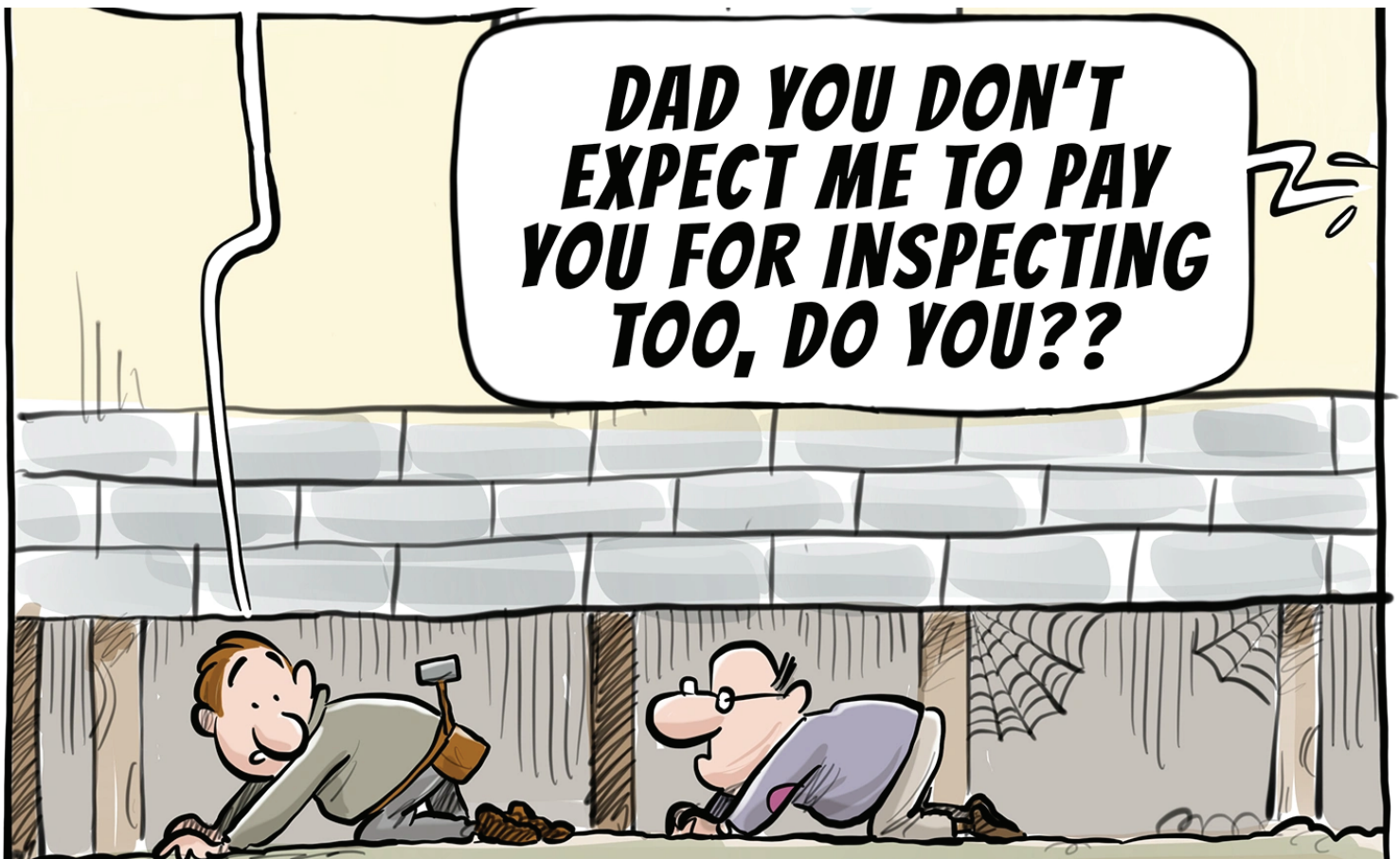
PLUMBING - We look for adequate flow and pressure at all fixtures, no signs of restricted water flow, sinks, tubs and showers that all drain properly, stable toilets that operate properly, no damage to visible pipes, no evidence of leaks, no signs of stains on materials near pipes, drain pipes that slope slightly down towards outlet to septic/sewage system.



FOUNDATION & SUBSTRUCTURE - We look for visible foundation in general good condition – appears straight, plumb, with no significant cracks. If cracks appear, the size, direction of movement and location will be noted. Also important is no flaking or damaged masonry, water markings and efflorescence (whitish, chalky substance), bowing, bulging or other irregularities, soft mortar, wetness or signs of water intrusion.

HEY, JACK, WHY DO THEY DIG
A HOLE 12' DEEP FOR AN
AGENT'S FUNERAL? CAUSE
DEEP-DEEP DOWN AGENTS
ARE GOOD PEOPLE TOO.





HOME INSPECTION DAY

Your Mareino Home inspector will start with the exterior of the home. The inspection will then continue inside — from the roof to the foundation.



GET YOUR INSPECTION REPORT

Our inspection report is usually ready within 24 hours after inspection. We'll notify you when you can access it.



OUR FUTURE PARTNERSHIP

Whatever other home or construction services you require, Mareino Developers is here to help. From repairs to construction.



INSPECTION TIP:

Follow your inspector along if possible, and feel free to ask questions during the inspection. Do not hesitate to contact the inspector with questions once you have read your written report.

**STRUCTURE**

Common conditions in this category include the need for repairs to the house walls or foundation due to construction deficiencies, or damage from water infiltration.

**EXTERIOR ELEMENTS**

Concerns at this area of a home typically include weather-related wear to all components; water infiltration issues, particularly at windows and doors; improperly constructed decks, stairs and railings; siding products with inherent materials or installation deficiencies; and inadequate foundation area drainage and siding clearance issues.

**INTERIOR ELEMENTS**

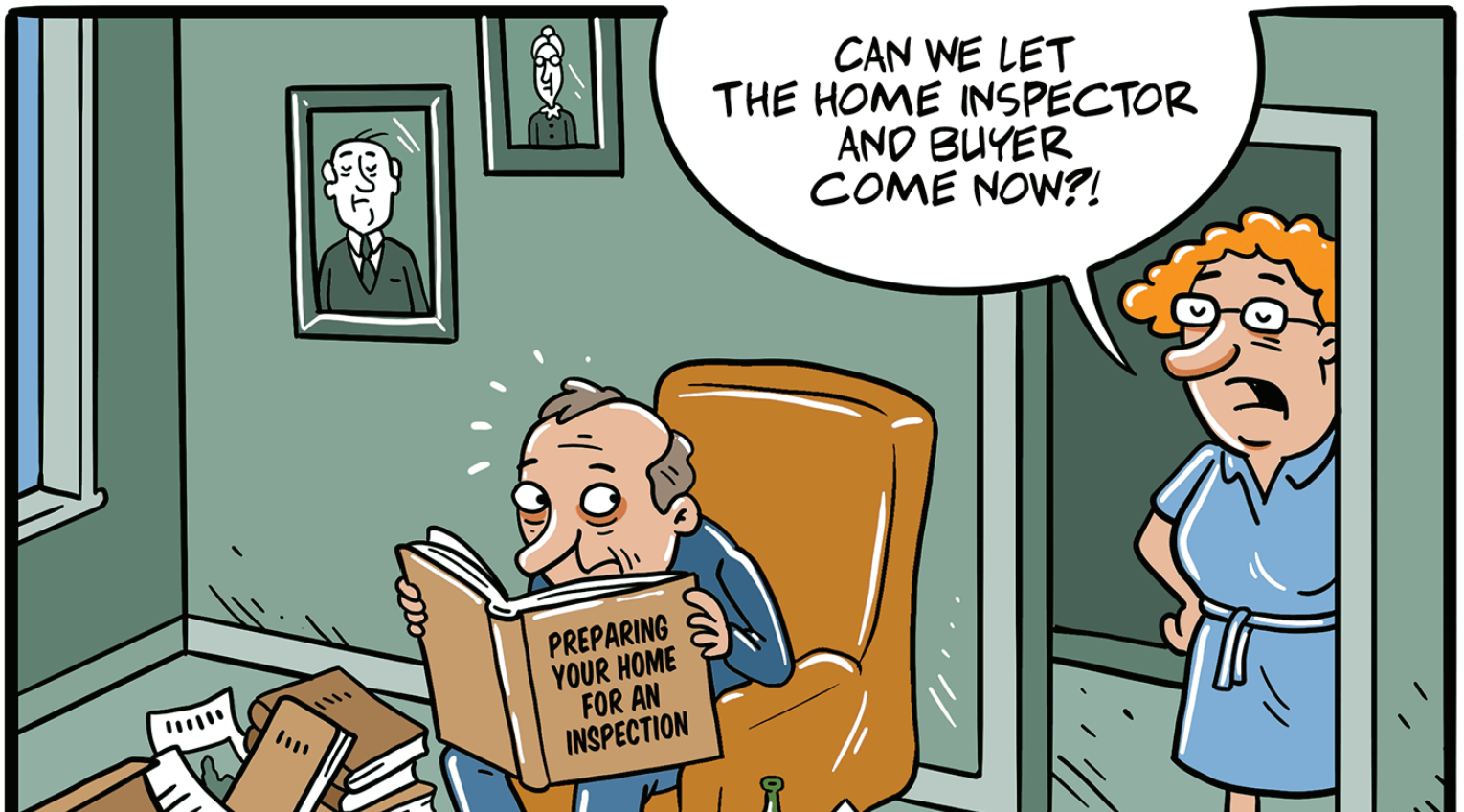
Common defects requiring significant remedial work in the living areas of a home including ceiling, walls, or floor damage from plumbing and roof leaks, aged plaster, and framing settlement. Appliance replacement issues are also included in this category.

**ELECTRIC SYSTEMS**

Most electric system defects require immediate attention due to safety implications. Many homes will have some minor electric issues; concerns with certain electric panels or wiring systems due to obsolescence and inherent safety defects; inadequate service capacity, distribution deficiencies; and lack of components with modern safety features.

**PLUMBING SYSTEMS**

These numbers represent physical defects associated with the water or drain system piping and plumbing fixtures as well as water flow or drainage issues. Also included are issues with certain types of gas and plumbing system piping due to inherent product/material defects or installation issues.



\$50,000.00

GENERAL HOME™

1

Starts at J\$50,000.00 for a typical 2-bedroom, bathroom & kitchen structure and includes a general inspection of your home's most important components. General Home does not include inspection of appliances or other non-structural components such as decor, TVs, etc.,

\$100,000.00

NEW CONSTRUCTION

2

Starts at J\$100,000.00 per unit and constitutes a deep inspection of the entire property. Inspection is done in 2-phases: First inspection during construction and Second inspection after unit is completed.

\$85,000.00

HOME VIEW 360™

3

Starts at J\$85,000.00 and includes a general home inspection plus an interactive 360 video tour of the property being inspected.

4



ACCESS+™

We assess your facility and provide a detailed report on steps you can take to ensure that your property is fully accessible and meets the National Building Code Accessibility Guidelines.



For More Information

www.MAREINO.com

876.385.9985

LISTEN, JACK - I WAS TRYING TO READ THE REPORT, AND HONESTLY - THE LANGUAGE IS SO TECHNICAL - I HAVE NO IDEA WHAT YOU WROTE THERE. COULD YOU TURN THE REPORT INTO A VIDEO CLIP, ADD SOME BACKGROUND MUSIC AND SUBTITLES, AND SEND IT OVER THIS EVENING TO MY MAIL?

